

THE IRVINE COMPANY

SEA ISLAND
CITY OF NEWPORT BEACH

APRIL 1977

PLANNED COMMUNITY DISTRICT REGULATIONS

INTRODUCTION

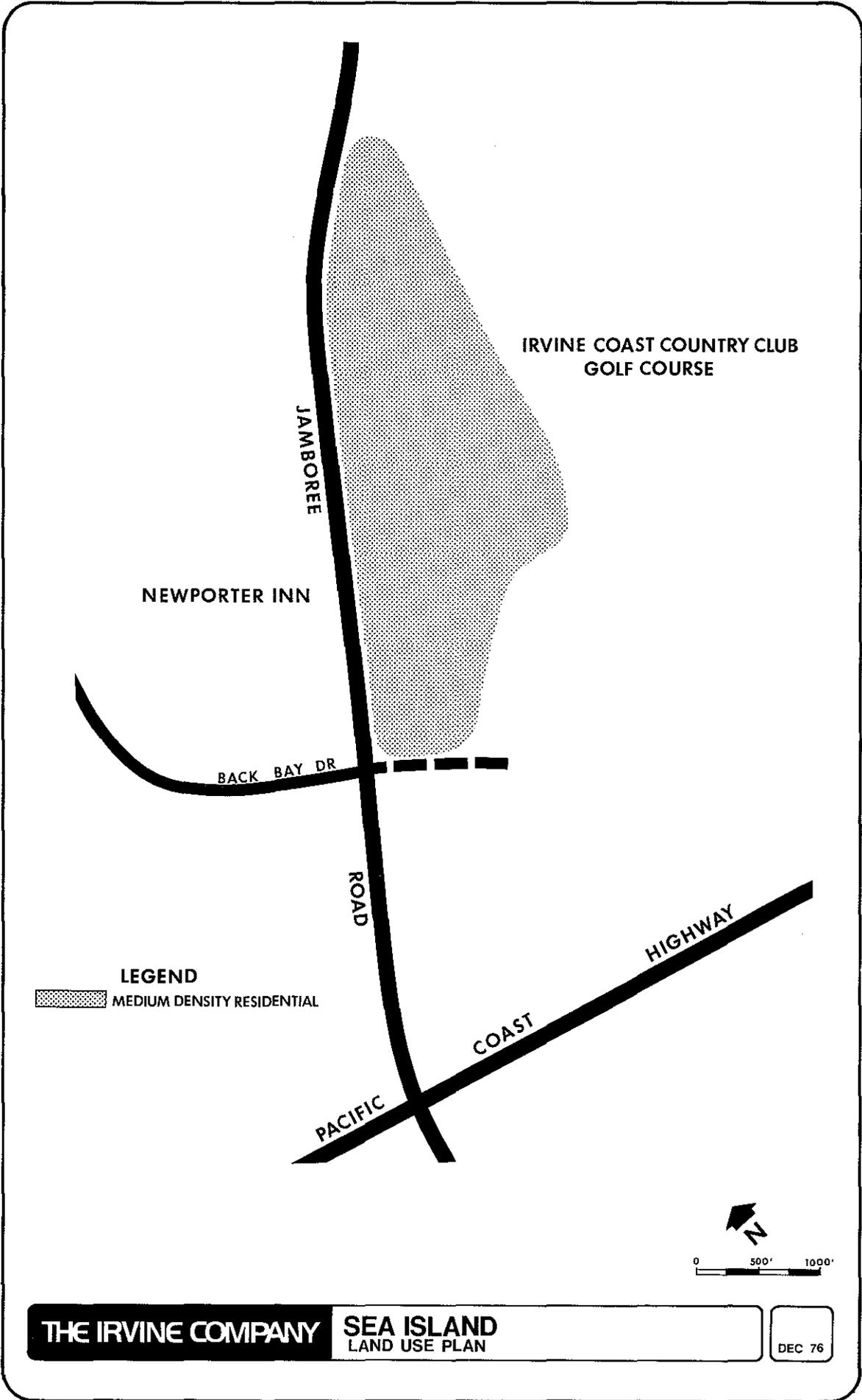
The Sea Island Planned Community (PC) District for the City of Newport Beach has been developed in compliance with the City of Newport Beach General Plan. The site is designated by the General Plan for residential use with a maximum average density of eight (8) dwelling units per gross acre.

This PC has been developed pursuant to Chapter 20.51 of the Newport Beach Municipal Code. The purpose of this PC District regulation is to provide development standards applicable to the establishment and maintenance of an integrated multiple-family residential development. The specifications of this district are intended to provide land use and development standards supportive of the development proposal contained herein while insuring compliance with the intent of the City of Newport Beach General Plan and all applicable regulatory codes.

Whenever the regulations contained herein conflict with the regulations of Title 20 of the Newport Beach Municipal Code, the regulations contained herein shall take precedence. The Municipal Code shall regulate this development when such regulations are not provided within these district regulations.

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**SEA ISLAND
LAND USE PLAN**

DEC 76

site statistics

gross area - 28.8ac.
 net area - 25.1ac.
 building coverage - 3.6ac. (14.3%)
 (dwelling units / rec. building)
 vehicular circulation coverage - 7.1ac. (28.3%)
 recreational amenity coverage - 1.1ac. (4.4%)
 (tennis courts / jacuzzi / swim club / bike)
 total site coverage - 11.8ac. (47.0%)
 total open space - 13.3ac. (53.0%)
 (landscaping)

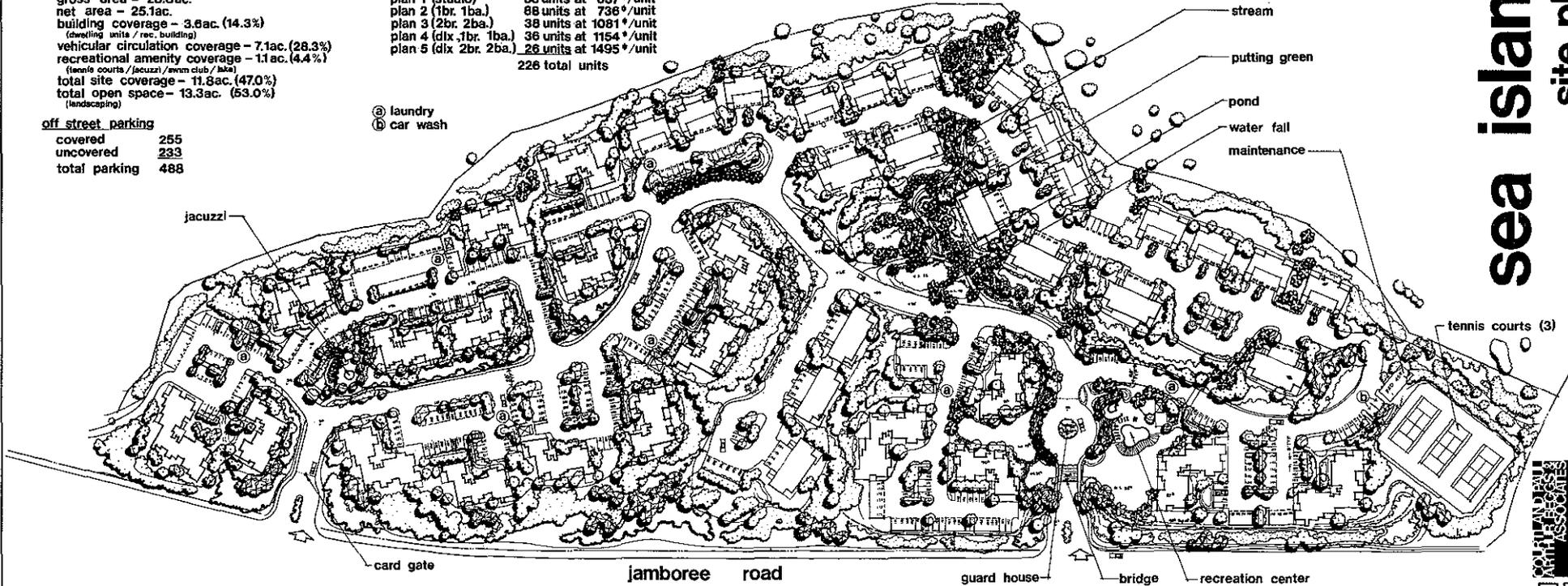
off street parking

covered 255
 uncovered 233
 total parking 488

unit mix

plan 1 (studio) 38 units at 637*/unit
 plan 2 (1br. 1ba.) 88 units at 736*/unit
 plan 3 (2br. 2ba.) 38 units at 1081*/unit
 plan 4 (dix. 1br. 1ba.) 36 units at 1154*/unit
 plan 5 (dix. 2br. 2ba.) 26 units at 1495*/unit
 226 total units

⊙ laundry
 ⊙ car wash



sea island
 site plan
 mc lain development co.

APPROVED BY CITY OF NEWPORT BEACH MARCH 14, 1977

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ARCHITECT ASSOCIATES
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SECTION I. STATISTICAL ANALYSIS

SEA ISLAND

<u>Type</u>	<u>Gross Acres</u> ¹	<u>D.U.</u>	<u>D.U.'s/ Gross Ac.</u>	<u>Average Persons Per D.U.</u>	<u>Estimated Population</u>
Medium Density Residential	29.01	226	8	1.6	362

<u>Off-Street₂ Parking</u>	<u>Ratio Per D.U.</u>	<u>Total</u>
Covered (per D.U.)	1.0	226
Uncovered	.5	113
Guest	<u>.5</u>	<u>113</u>
	2.0 Ratio	452 Total Spaces

¹ The gross acreage includes the 1.7 acre (30' wide) buffer abutting the golf course. The total 30' wide buffer along the perimeter of the project is 3.7 acres.

² A maximum of 25% of the uncovered and guest parking may be designed for compact cars.

SECTION II. GENERAL NOTES

The General Notes section has been developed by a review of the City's standards as stated in the General Plan, Municipal Code, Council Policy and, to the maximum extent possible, the mitigations recommended in the environmental impact report.

1. Project Description

This project is to be developed, maintained, and operated by a single management organization.

The type of residential units proposed will approximate: 1) 38 bachelor units, 2) 76 one-bedrooms, 3) 46 two-bedrooms, 4) 40 one-bedroom deluxe, and 5) 26 two-bedroom deluxe.

The Site Plan is construed to be the development plan as used in Chapter 20.51 of the Newport Beach Municipal Code. The Site Plan may be submitted prior to or coincidental with the filing of the subdivision Map.

2. Population Generation

It is estimated that Sea Island will have a population of 362 persons. This figure has been used for estimating community facilities.

3. Student Generation

It is anticipated that a need for additional schools will not be generated by the development of this project. Student generation from this project is deemed to be minimal and could be accommodated by existing school facilities. It is estimated that the project will generate 0.0/K-5, 0.0/6-8, and 0.05/9-12 based on the prospective resident profile of age grouping and the ratio of one to two bedroom units.

4. Park Standard

Private recreation facilities are to be developed to meet the City's park standard. These facilities are to be operated as a part of this planned community.

Based on estimated population generation of 362 persons, .724 acres are required to be set aside for activity parks. (In compliance with Council Policy I-3 on Park Standards.)

The Sea Island recreational facilities of approximately 1.2 acres are to include three tennis courts, one swimming pool, and a recreation building. Private recreation facilities, open and/or structured, within the development boundaries shall be maintained by the operator.

5. Water Service

Water within the Planned Community area will be furnished by the City of Newport Beach.

6. Sewage Disposal

Sewage disposal facilities within the Planned Community will be provided by Orange County Sanitation District No. 5.

7. Flood Protection

The subject property is within the City of Newport Beach. The developer will provide the necessary flood protection facilities under the jurisdiction of the City of Newport Beach.

Subject property is within the Drainage Master Plan area. There are no drainage fees associated with the development of this property.

8. Grading and Erosion

Grading and erosion control provisions shall be carried out on all areas of the Planned Community in a manner meeting the approval of the Director of Community Development.

Grading outside an area submitted under the Planned Development Ordinance but within the Planned Community area will be permitted upon securing of a grading permit.

9. Applicability

Except as otherwise stated in this Ordinance, the requirements of the Newport Beach Zoning Code shall apply.

The contents of this supplemental text notwithstanding, no construction shall be proposed within the boundaries of this Planned Community district except that which shall comply with all provisions of Newport Beach's Uniform Building Code and the various mechanical codes related thereto.

10. Lighting

Parking-lot lighting shall be subject to the review and approval of the Director of Community Development. Parking-lot lighting shall be designed in a manner so as to minimize impacts on adjacent residential areas.

11. Screening

All mechanical appurtenances on building roof tops and utility vaults shall be screened in a manner meeting the approval of the Director of Community Development.

12. Archaeological/Paleontological

Prior to the issuance of grading permits, the site shall be examined to determine the existence and extent of archaeological and paleontological resources in accordance with adopted City Policies K-5 and K-6.

13. Landscaping

Prior to the installation of the landscaping adjacent to the streets indicated, the developer or lessee shall provide for the continued maintenance, either by an agreement with the City Road Department or through a county service area.

All landscaping along street rights-of-way shall be installed in accordance with a landscape plan, subject to the review and approval of the Director of Community Development.

14. Noise Attenuation

In compliance with Section 4 of the Noise Element to the General Plan, Section 15.04.210 of the Municipal Code shall apply to the development of Sea Island.

SECTION III. DEFINITIONS

The following definitions shall apply to the development of Sea Island:

1. Gross acreage shall include a 30' wide buffer along the perimeter of the site as well as the site.
2. Net site area shall exclude the 30' wide buffer and refer only to the site's legal description.
3. Net buildable acreage shall mean the net site area excluding all finished 2:1 slopes as designated on the approved grading plan, notwithstanding Section 20.87.050.

SECTION IV. MEDIUM DENSITY RESIDENTIAL

This PC is intended to provide two-story multiple-family residential housing and related recreation and service facilities.

A. Uses Permitted

1. Multiple-family residential dwelling units
2. Condominiums
3. Recreational/service facilities
4. Signs (as provided for in Section V and Appendix A and B of this ordinance)

B. Development Standards

1. Minimum Floor Area

The minimum floor area shall be six hundred (600) square feet pursuant to Section 15.04.040 of the Newport Beach Municipal Code.

2. Maximum Height Limits

- a. All buildings shall comply with the height restrictions of the 32/50 Foot Height Limitation Zone as per Section 20.02.030 D. of the Newport Beach Municipal Code.
- b. Notwithstanding Section 20.02.070 of the City Code, fences and walls shall not exceed six (6) feet and such fences and walls are permitted within the required setbacks.

3. Setbacks from Public Streets

A minimum setback of twenty (20) feet shall apply to all structures adjacent to public streets; except that tennis courts, balconies and patios may encroach six (6) feet into the required setback.

Architectural features, limited to cornices or eaves, may extend two and one-half (2 1/2) feet into any front, side or rear yard setback.

Setbacks shall be measured from the ultimate right-of-way line.

4. Setbacks from Property Lines and Other Structures

All setbacks listed under this section refer to property lines not affected by the requirements of subsection D.

- a. The minimum setback excluding fences and walls shall be five (5) feet from all property lines.
- b. All main residential structures shall be a minimum of eight (8) feet apart measured from face of finished wall to face of finished wall.
- c. Garages, carports, and other uninhabited structures shall be separated from main residential structures a minimum of eight (8) feet measured from face of finished wall to face of finished wall.
- d. Garages, carports, and other uninhabited structures may be attached or separated from one another in accordance with the provisions of the Newport Beach Building Code and Fire Marshall requirements.
- e. Direct access garages shall be setback not more than five (5) feet or less than twenty (20) feet.

5. Off Street Parking

A minimum of 2.0 parking spaces per unit shall be required of which a minimum of one parking space per unit shall be covered. The parking spaces required for any unit and/or any cluster of units shall be located in the immediate vicinity of said units, i.e., within convenient walking distance. Where a fractional figure remains in computations made to determine the number of required off-street parking spaces, said fraction shall be rounded upward to the nearest whole number.

6. Maximum Site Area Coverage

The maximum site coverage permitted shall be fifty (50) percent of the net site area. For purposes of this ordinance, site coverage shall include all areas under roof but shall not include trellis areas.

Land allocation is approximately: 1) 14.3 percent footprint, 2) 53 percent Landscaping, 3) 28.3 percent hard surface, and 4) 4.4 percent recreation facilities.

SECTION V. SIGNS

A. Permanent Signs

1. Miscellaneous Directional/Informational Signs

Directional/Informational Signs, such as but not limited to "right turn only", "exit", "entrance", "tennis courts", etc., shall be permitted. Said signs shall be kept to a minimum and shall be designed as a coordinated part of the overall project. Each sign shall not exceed six (6) square feet of sign area.

2. Primary Identification Signs

One double-faced sign or two single-face signs at the main entrance shall be permitted. Said sign shall not exceed a height of four (4) feet above the grade or surface to which attached, nor shall said sign exceed an area of thirty-five (35) square feet per face. Said sign may be internally or externally lighted. The information listed on the sign shall be limited to:

- a. Name and address of the apartment complex, and
- b. Vacancy or leasing information, i.e., "vacancy", "no vacancy" or "now leasing".

B. Temporary Signs (prior to and during construction)

1. Future Facility Signs

A sign which informs the viewer, through graphic symbol and verbal reinforcements, of the type of facility planned for the site. (See Appendix A.)

2. Merchandising Signs

A sign which informs the viewer, through graphic symbol and verbal reinforcement, of the facility name, opening date, type of occupancy, owner-developer, and phone number for leasing information. (See Appendix B.)

APPENDIX A

Future Facility Sign Specifications



SIGN TYPE (G)

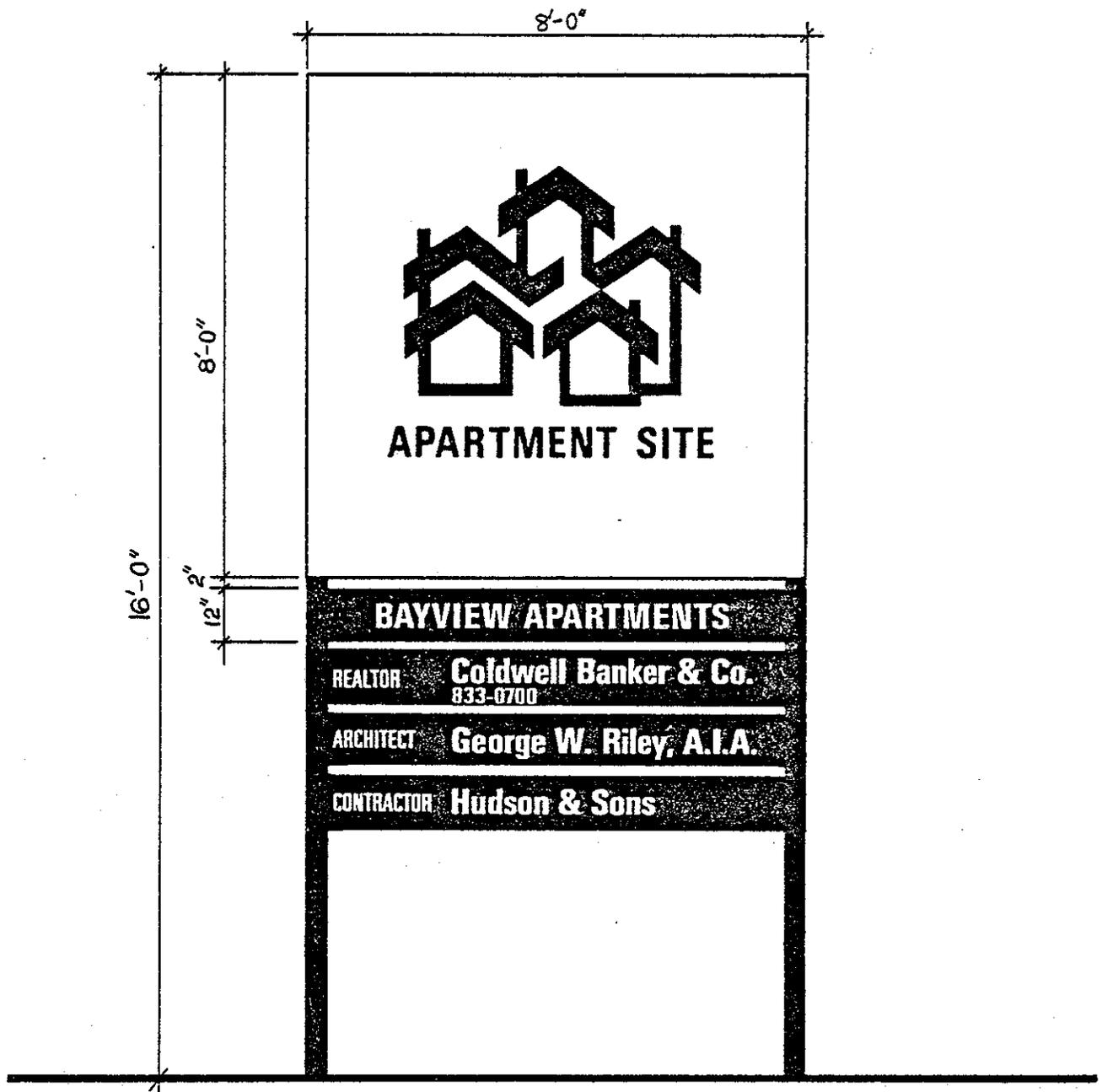
FUTURE FACILITY SIGN: A sign which informs the viewer, through symbol and verbal reinforcement, of the type of facility planned for a community.

POLICY: The sign shall identify facilities which are planned as part of a planned community and are to be constructed in the immediate future. General symbols, designed to identify and not to advertise, will represent the same type of facilities in each of the Irvine communities. May be double faced if required.

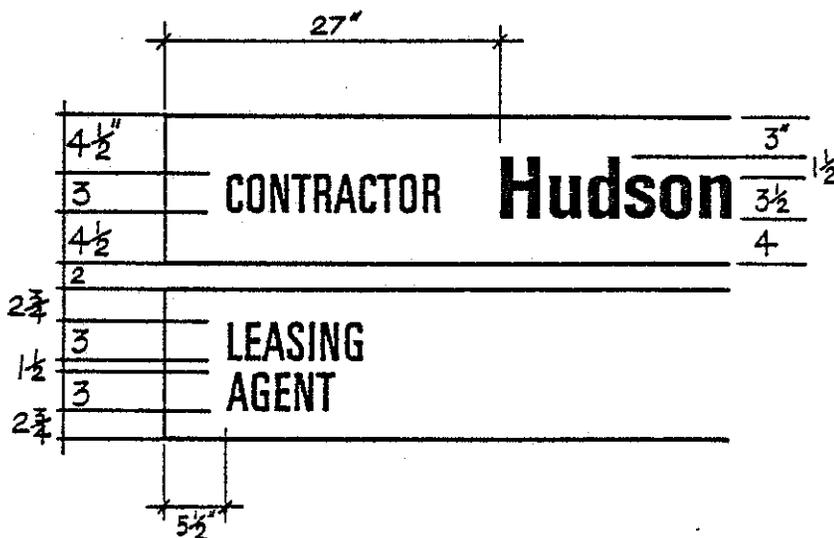
LOCATION: Always installed on the site of the facility and oriented to the nearest street. One sign to be utilized for each street fronting on the site.

LONGEVITY: From the time the site has been zoned for the facility until construction and/or leasing is completed.

SIGN SURFACE AREA: 96 square feet maximum (including 4 "rider" panels).



SIGN TYPE (G)

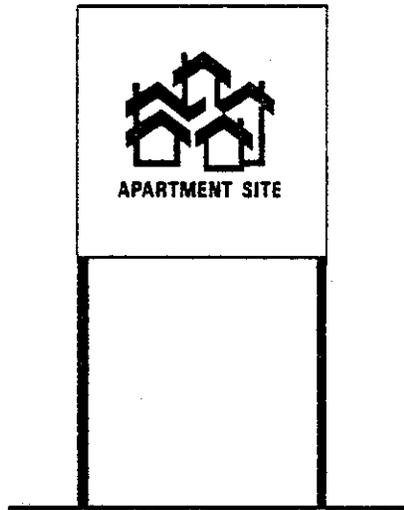


COLORS: Dark brown symbol and olive brown lettering on light tan background. Rider panels are reversed with light tan lettering on olive panels. Legs and backside are olive brown. (See section II)

LETTERING: Top section must be exact elements shown. "Contractor", "Architect", etc., are Unifers 59. All other information is Unifers 67. (See Section II)

LAYOUT SPECIFICATIONS, SIGN TYPE (G)

SIGN TYPE (G)



Phase 1 represents a site which has been zoned for the respective facility by The Irvine Company planning department.



Phase 2 represents a site which has been leased or sold to a client. At this time the name of the facility is added to the structure on a rider panel. (Note: In the case of service stations, the Oil Company's symbol is substituted for the rider panel and attached to the gas pump symbol on the face of the sign).



Phase 3 is initiated when construction begins. (When construction is completed, the Architect and Contractor panels should be removed.)

APPENDIX B

Future Facility Sign Specifications

MERCHANDISING SIGNS: A sign which informs the viewer, through graphic symbol and verbal reinforcement, of the facility name, opening date, type of occupancy, owner-developer and phone number for leasing information.

POLICY: The signs may be single or double-faced and are intended to be informative.

LOCATION: Located on the site immediately adjacent and oriented to Jamboree Road, three (3) maximum.

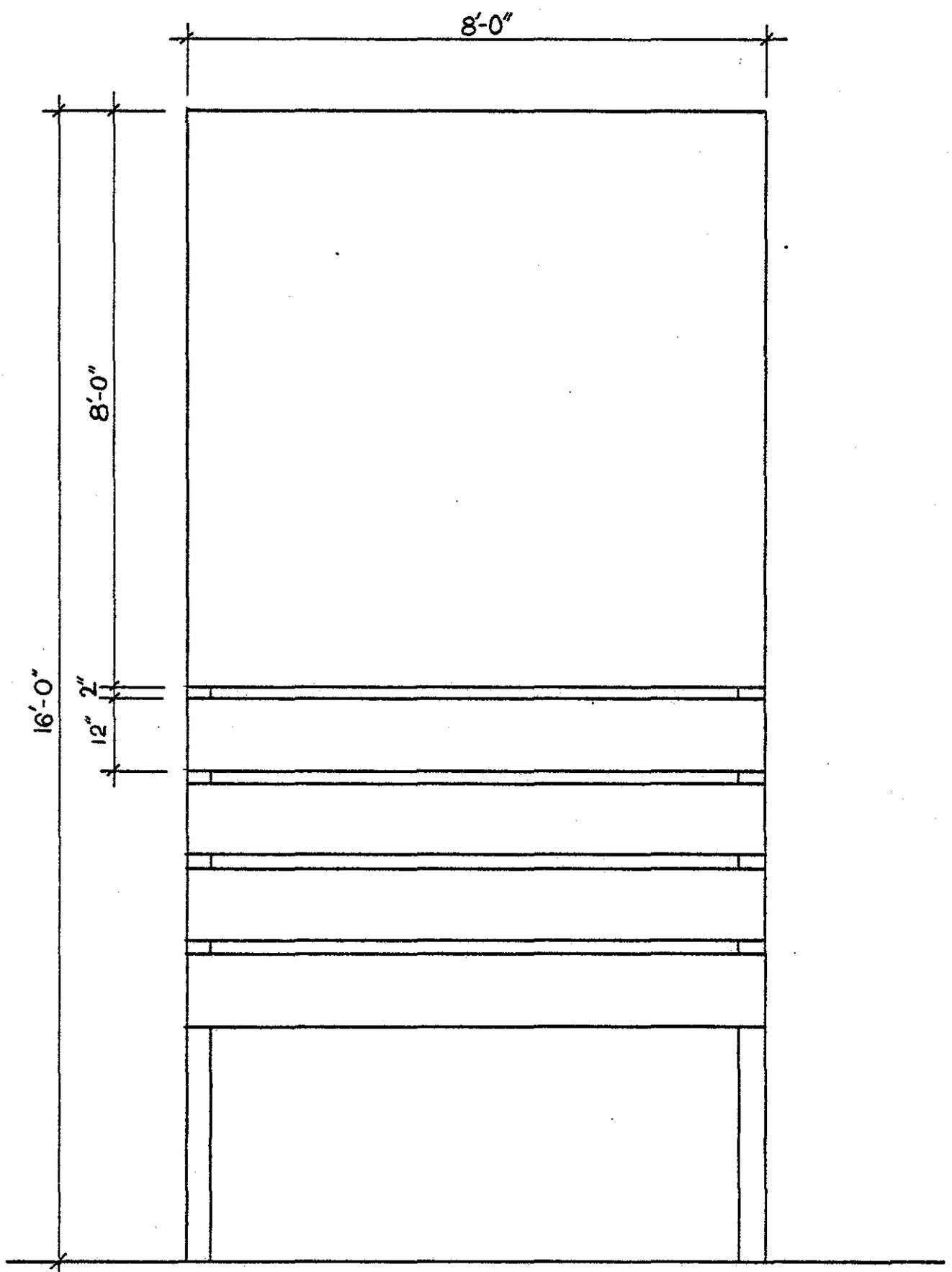
LONGEVITY: Installed after the project is under construction and remain until the project is 95% occupied.

ILLUMINATION: None

SIGN SURFACE AREA: Each sign may have a sign surface area of 96 square feet maximum (including any "rider" panels). Note: Rider panels indicate opening date, type of occupancy, owner-developer and phone number for leasing information.

COLORS: Dark brown symbol and olive brown lettering on light tan background. Rider panels are reversed with light tan lettering on olive panels. Legs are backside are olive brown.

SYMBOLS: The logo symbol to be developed for the marketing of this project.



SIGN TYPE (G)